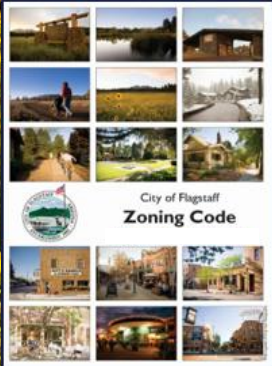


Middle Housing Zoning Code Text Amendment

Tiffany Antol, AICP
Zoning Code Manager





Middle Housing Zoning Code Text Amendment



HB 2721 - Middle Housing

On or before January 1, 2026, a municipality with a population of 75,000 or more must authorize by ordinance and incorporate into its development regulations, zoning regulations and other official controls the development of **duplexes, triplexes, fourplexes and townhomes** as a permitted use on both of the following:

- All lots zoned for single-family residential use within one mile of the municipality's central business district.
- At least twenty percent of any new development of more than ten contiguous acres.



Townhouse (Single-Family Attached)



A dwelling unit designed for occupancy by one family on its **own individual lot** that shares one or more common or abutting walls with one or more dwelling units. An attached single-family dwelling (or townhouse) **does not share common floors/ceilings with other dwelling units.**



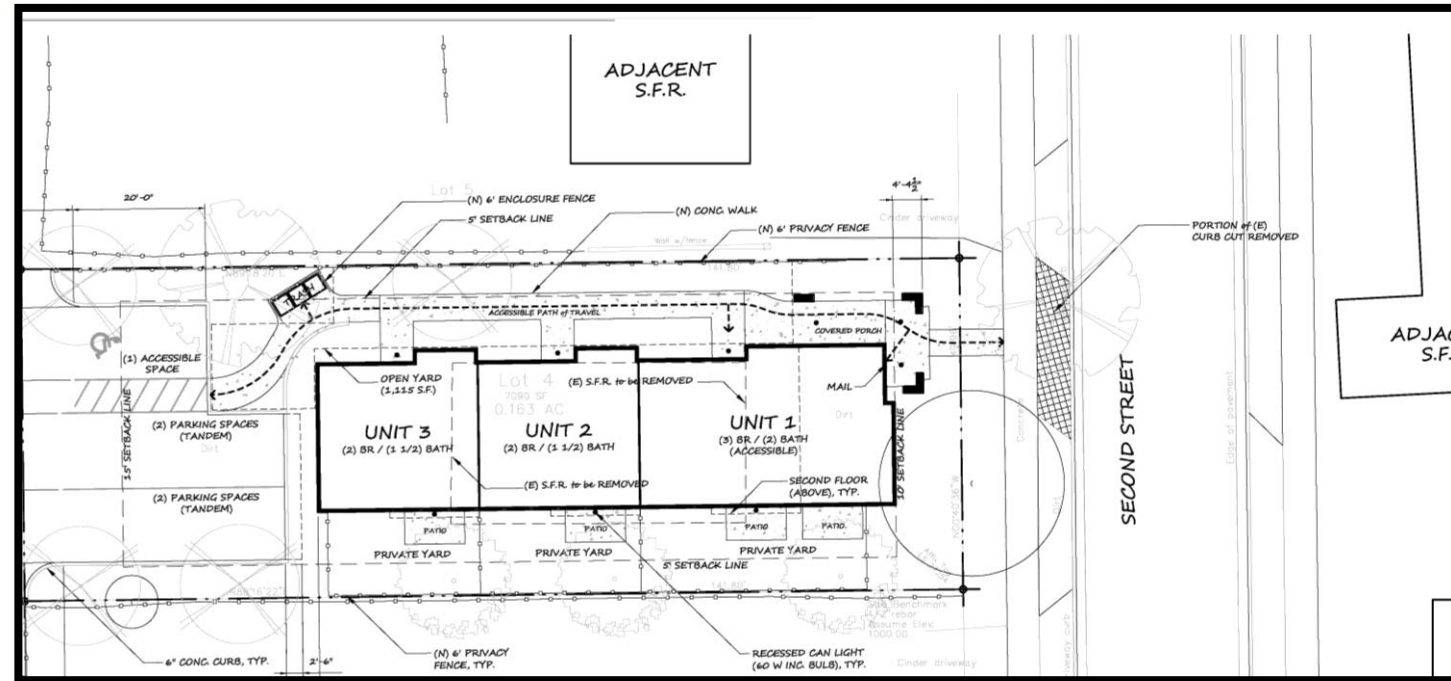
Duplex



A residential building designed to be occupied by two families living independently of each other with **two attached dwelling units on one lot or parcel**. The units may be attached front-to-back or side-to-side with a common or party wall or stacked one atop the other with a common ceiling-floor separating the units.



Triplex/Fourplex



Will need to create new definitions and land uses for Triplex and Fourplex:

A residential building designed to be occupied by three or four families living independently of each other with **attached dwelling units on one lot or parcel**. The units may be attached front-to-back or side-to-side with a common or party wall or stacked one atop the other with a common ceiling-floor separating the units.

Currently defined as **Multiple-Family Dwelling**: A building, or portion thereof, having three or more dwelling units on a single lot used, or designed or intended for use or occupancy as living quarters by three or more families living independently of each other.



Zoning District	Allowed Middle Housing Types	Density (# of units per acre)	Size of Parcel required for Fourplex
Rural Residential (RR)	Duplex, Townhome, Multi-Family*	1 unit per acre	4 acres
Estate Residential (ER)	Duplex, Townhome, Multi-Family*	1 unit per acre	4 acres
Single-Family Residential (R1)	Duplex, Townhome, Multi-Family*	6 units per acre	≈ .59 acres (25,700 square feet)
Single-Family Residential Neighborhood (R1N)	Duplex, Townhome	14 units per acre	≈ .25 acres (10,890 square feet)
Medium Density Residential (MR)	Duplex, Townhome, Multi-Family	14 units per acre	≈ .25 acres (25,700 square feet)
High Density Residential (HR)	Duplex, Townhome, Multi-Family	29 units per acre	≈ .13 acres (5662.8 square feet)
Community Commercial (CC)	Duplex, Townhome, Multi-Family**	14 units per acre	≈ .25 acres (10,890 square feet)
Neighborhood Community Commercial (NCC)	Duplex, Townhome, Multi-Family**	14 units per acre	≈ .25 acres (10,890 square feet)

* Only in a duplex or single unit form

**Only on a lot less than 9,000 sq ft or with a CUP



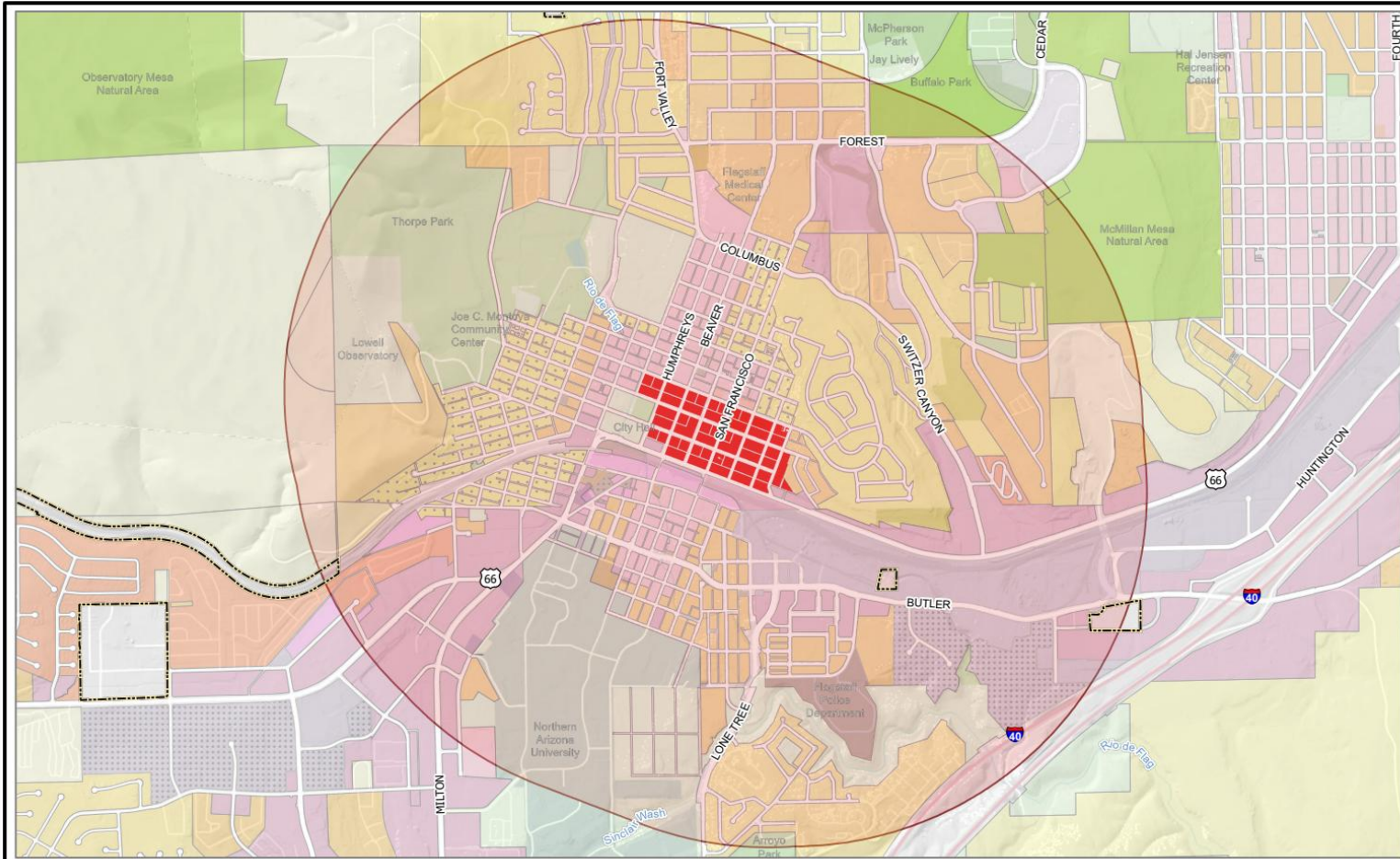
Middle Housing Zoning Code Text Amendment



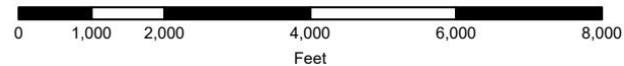
- **HB 2721** defines **Central Business District** as an area or series of areas designated by a municipality that are primarily nonindustrial and that attract community activity, including the entire geographic area that the municipality has officially designated as its downtown or equivalent.
- The City of Flagstaff has not officially designated either a **Central Business District** or its **Downtown**.
- The definition of **Central Business District** does not need to be limited to the **Downtown** and for the purposes of other Economic Development incentives such as the Government Property Lease Excise Tax (GPLET) the City may wish to define additional areas such as **Aspen Sawmill, Milton Corridor, 4th Street Corridor, the Mall and Marketplace**.



Middle Housing Zoning Code Text Amendment



Central Business Zoning 1 Mile Buffer



City of Flagstaff maps and data are updated on a regular basis from data obtained from various sources. The City of Flagstaff endeavors to provide accurate information, but accuracy is not guaranteed. You are strongly encouraged to obtain any information you need for a business or legal transaction from a surveyor, engineer, title company, or other licensed professional as appropriate. Information is provided subject to the express condition that you knowingly waive any and all claims for damages against the City of Flagstaff relating to use of this information.



1/15/2025 8:48 AM



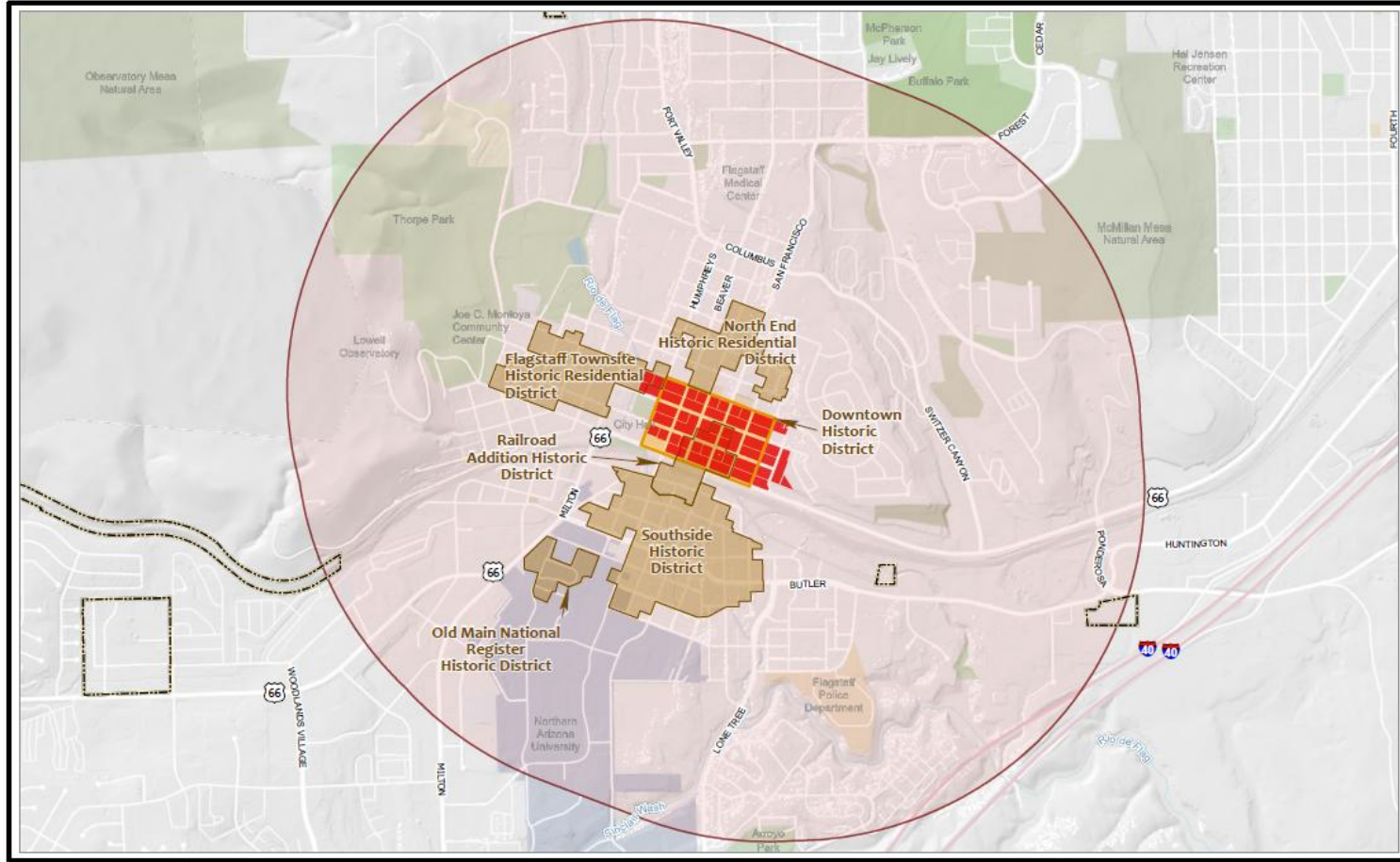
Middle Housing Zoning Code Text Amendment



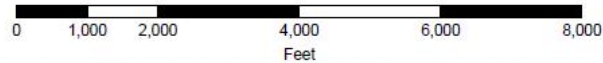
- A new bill (**HB 2719**) was introduced at the end of January 2025 to exclude areas that are designated as **Historic** by the municipality or on the **National Register of Historic Places** from the requirements of the **Missing Middle** (HB 2721).
- **This bill has already died.**



Middle Housing Zoning Code Text Amendment



Central Business Zoning 1 Mile Buffer



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2/19/2025 11:03 AM



Arizona Revised Statutes – Zoning Regulations



- All zoning regulations shall be uniform for each class or kind of building or use of land throughout each zone, but the regulations in one type of zone may differ from those in other types of zones. (9-462.01.C)
- The legislative body may adopt overlay zoning districts and regulations applicable to particular buildings, structures and land within individual zones. For the purposes of this subsection, "overlay zoning district" means a special zoning district that includes regulations that modify regulations in another zoning district with which the overlay zoning district is combined. (9-462.01.D)



Middle Housing Zoning Code Text Amendment

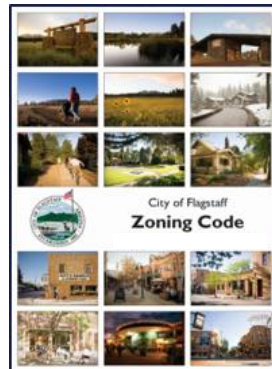


- How should the City move forward on this amendment?
 - Should the City consider adopting the provisions **city-wide**?
 - Most impact zoning districts include ER, RR, R1, R1N, MH, and CC.
 - If not city-wide, what makes sense for the **Downtown**?
 - What other areas should be included as potential **Central Business Districts**?
 - What **new development areas** should be considered?



Middle Housing Zoning Code Text Amendment

Questions?





Middle Housing Zoning Code Text Amendment



HB 2721 - Middle Housing

The municipality may not do any of the following:

- Discourage the development of middle housing through requirements or actions that individually or cumulatively make impracticable the permitting, siting, or construction of middle housing.
- Restrict middle housing types to less than two floors.
- Restrict middle housing types to a floor area ratio of less than fifty percent.
- Set restrictions, permitting or review processes for middle housing that are more restrictive than those for single-family dwellings within the same zone.
- Require owner occupancy of any structures on the lot.
- Require any structures to comply with a commercial building code or to contain a fire sprinkler.
- Require more than one off-street parking space per unit.